

# Town of Cecilton

## Development Design Standards



**“The Way Life Should Be”**

Adopted  
August 27, 2007

Prepared by:  
**URS**

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# 1. GENERAL

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## A. Background

The Town of Cecilton Planning Commission, Comprehensive Plan Review Board and URS Corporation were tasked in August 2006 by the Mayor and Town Council of Cecilton with completing development design standards for the Town. The Town has concern with the type of development that could be placed in the surrounding areas and wants to ensure all applicable parties involved in development or redevelopment conform to the development design standards set forth by the Town. Contributions towards the development and coordination of this document were made by the following:

### Mayor and Town Council

Mayor John Bunnell  
Councilman Joseph A. Zang III  
Councilman Ronald R. Young II  
Councilman Michael Cooper

### Planning Commission

Linda Moreland, Chair  
Commissioner Joyce Boulden  
Commissioner Craig DeVary  
Commissioner Jackie Sharp  
Commissioner Marie Wills  
Commissioner Sonia Wright

### Comprehensive Plan Review Board

Linda Moreland, Chair  
Member Craig DeVary  
Member MaryJo Moran  
Member Ronald R. Young II  
Member Joseph A. Zang III

### Staff

Alice Bennett, Town Administrator  
Sheilah Y. McDonald, Previous Town Administrator  
Brenda D. Cochran, Town Administrator

### URS Corporation

Chris Rogers, AICP, Senior Project Manager  
Debbie Pfeil, Senior Planner



## **B. Purpose**

The purpose of these Development Design Standards is to create development and redevelopment that meet visual and aesthetic objectives set forth by the Town. These objectives include:

- Build on the rich historic heritage and character of Cecilton.
- Create an environment that emphasizes beautification on each project.
- Maintain the scale and texture of development.
- Allow for infill development that is sensitive to its context.
- Encourage creative designs for sites and buildings.
- Support pedestrian movement and the use of transit and bicycles.
- Implement the Comprehensive Plan.
- Protect and enhance the Town's environment for living and working in manners that support and stimulate business and industry.
- Promote the desirability of investment and occupancy in business and other properties.

The standards and guidelines in this ordinance intend to promote orderly community growth which will protect and enhance property values for the community as a whole. Inherent in these objectives is the expectation that well designed projects and economic development initiatives support the community's aesthetic values.

## **C. Applicability**

From August 27, 2007 after the date of final adoption of this Ordinance, any new structures or any structures being increased in size by more than fifty (50) percent in total floor area shall be in conformity with the provisions of this Ordinance. Any existing residential structures within the municipal boundaries as of August 27, 2007, shall be exempt from the Design Standards. The following standards and guidelines represent supplemental provisions to the Town of Cecilton Code. When the provisions of these standards and the Code of the Town of Cecilton conflict, the more restrictive regulation shall apply.

## **D. Severability**

Each section of the Ordinance and every part of each section is an independent section or part of a section, and the holding of any section or part thereof to be unconstitutional, void or ineffective for any cause shall not be deemed to affect the validity or constitutionality of any section or part thereof.

## **E. Effective Date**

All provisions of the Ordinance shall be in full force and effect on and after the effective date of this ordinance, which shall take effect immediately upon its final adoption.

## **F. Authority**

The provisions of this document shall apply to all new development and redevelopment within the zoning districts. Each development and/or redevelopment project shall be evaluated with

regard to how it achieves the overall design that meets the intent and directions of the Development Design Standards.

Examples and illustrations included in this document are ways in which the intent of a standard can be achieved. The graphic examples are meant to be illustrative, and are not the only acceptable means towards accomplishing the intent of the standards. Applicants and project designers are encouraged to consider designs, styles and techniques not pictured in the examples that fulfill the intent of the design standard. The Town will expect the design of a project to respond to each standard and guideline. The applicant assumes the burden of proof to demonstrate how a proposed design meets the standards.

The standards in this document use the word “shall” while the guidelines use the word “should”. Regardless of which term is used, each standard and guideline must be addressed by an applicant. Listed below are helpful guidelines when designing or reviewing a proposed project:

- “Shall” statements indicate requirements and offer relatively little flexibility unless choices are provided within the statements themselves. All projects must include these elements as described.
- “Should” statements are meant to be applied, but with flexibility. They indicate that the Town is open to design features that are equal to, or better than, those stated, as long as the intent is satisfied.

The Planning Commission shall determine the applicability and conformity as well as the interpretations of these regulations for each application. The flexibility within the Development Design Standards also are determined by the Planning Commission on a case by case basis for each specific project.

## **G. Recognizing Historic Content**

New development should incorporate architectural elements that reinforce the established character of Cecilton. The following elements constitute potential existing features that could be reflected in new buildings to include signage and landscaping:

- (a) materials
- (b) window proportions
- (c) cornice door or canopy lines
- (d) roof treatment, and pitch
- (e) colors



When rehabilitating existing historic buildings, property owners are encouraged to follow the recommendations stated below:

- (a) if original details and ornamentation are intact, they should be retained and preserved;
- (b) if original details are presently covered, they should be exposed and/or repaired;
- (c) if original details are missing, missing parts should be replaced to match the original in appearance. Remaining pieces or old photos should be used as a guide.

If a proposed building is not adjacent to other buildings having a desirable architectural character, it may be necessary to look at contextual elements found elsewhere within the area.

## 2. RESIDENTIAL DESIGN



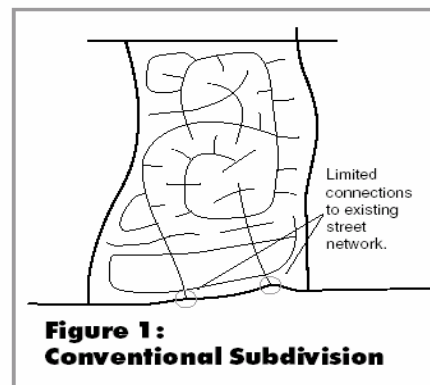
### A. STREETS

#### 1. Network Design

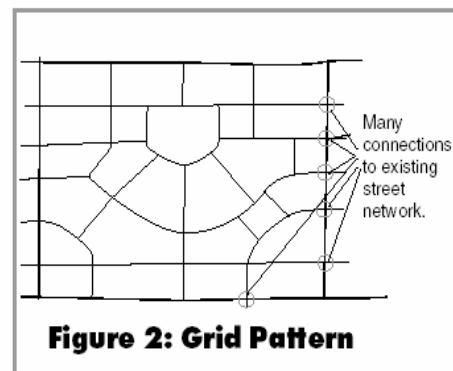
**Intent-**To strengthen and extend the existing established street network within the Town of Cecilton and to continue the overall character of the Town in new development. New or extended streets in the Town of Cecilton shall be designed to the below listed standards.

##### Required Standards

- Any proposed street(s) shall be in consistent with the transportation component the Comprehensive Plan.
- New development streets shall be laid out in a grid pattern creating numerous connections to existing streets. If possible, extension of existing streets shall be utilized. Streets do not necessarily need to be provided at right angles and should be provided as appropriate based on surrounding street network and natural characteristics of the site. Intersections, however, must be provided at right angles.
- Isolated subdivisions providing no logical connections to existing streets or community shall be discouraged.



Undesirable



Desirable

- A street hierarchy shall be established in all residential subdivisions to include both minor and collector streets. Driveways serving residential lots shall not take access from collector streets within subdivisions.
- Primary subdivisions entrances for larger subdivisions of 50 units or more shall provide divided boulevard type entrances incorporating a central planting island with mountable curbs.
- Intersections shall be designed for safety and to facilitate both pedestrian and vehicular movement.

- Internal roads and aisles within multi-building developments shall provide clearly discernable and safe circulation throughout the development and especially within parking areas.
- Proposed subdivision street layout plans shall incorporate provisions for linkage streets which shall be designed to provide future access and street connection to adjacent vacant or undeveloped lands which may be developed in the future.
- Linkage street stubs shall be provided on average of at least one (1) linkage street right-of-way stub to adjacent vacant or undeveloped land greater than 5 acres. Fulfillment of this requirement must be approved by the Planning Commission. Land under 5 acres may be subject to the same requirements if determined necessary by the Planning Commission.
- When a proposed subdivision is being planned adjacent to previously subdivided land and the previously subdivided land has incorporated linkage street stubs to its perimeter as part of its recorded subdivision plan, the proposed subdivision must incorporate street connections to the existing linkage street right-of-way stubs as part of its street system.



### **Prohibited**

- Gated communities shall be prohibited
- Speed bumps or speed tables shall be prohibited on public streets

### **Encouraged Guidelines**

- Transit stops and improvements where appropriate to the intensity of use and expected demand should be provided.
- Residential lots fronting on collector streets should take access from alleys or minor side streets. Alleys shall be encouraged in residential development.
- Traffic calming should be incorporated into the design of new subdivisions to reduce vehicular speed, promote continuity in the traffic stream, and result in a net reduction in overall traffic volume for a given street or system of streets. Options may consist of traffic circles, islands, bump outs and deflections or other techniques approved by the Planning Commission and Town Engineer.



## 2. Street Signage

The Town's standard street sign has been identified in the pictures below, specific street sign information may be provided by the Town's Public Works Department.



## 3. Street Specifications

The street specifications shall be designed as stated in Article VI of the Town Subdivision Requirements.

## B. SIDEWALK AND PEDESTRIAN

### 1. Connectivity

***Intent-***To improve the pedestrian environment by making it easier, safer, and more comfortable to walk among residences, to businesses, to the street sidewalk, to transit stops, and to adjacent properties, and general connections throughout the Town.



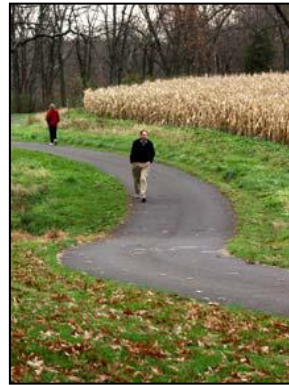
### ***Required Standards***

- True connections shall be created utilizing either sidewalks or pedestrian trails or a combination of both to link the community or development to facilities such as parkland, shopping centers, public buildings, employment centers, and schools. Sidewalks shall be provided on both sides of residential streets. The Planning Commission may approve another standard, if appropriate to a specific location or situation.
- Sidewalks shall be provided along all street frontages and connections to adjacent parcels and development.
- Provisions shall be made to connect to future development and planned or existing sidewalks or pedestrian trails by dedication of easements for future connections.
- Crosswalks shall be required to create a visual and tactile connection between



barrier free access curb ramps for the purpose of demarcation of appropriate pedestrian street-crossing locations in the following instances:

- (a) At points of intersection between sidewalk and collector streets and at all corners along a collector street or where local residential streets intersect the collector street.
  - (b) At all signalized intersections adjoining the development site.
  - (c) At key locations to provide safe street crossing access to active or passive parkland and open space areas, schools, playgrounds, neighborhood shopping centers and similar pedestrian destinations within and adjoining the development
- Pedestrian trails and connections shall be provided to adjacent pedestrian facilities such as sidewalks and trails and provide linkages to destinations within town such as public buildings, parks, commercial centers and other residential areas.
  - Pedestrian trails shall be constructed of durable pervious materials including soil cement, fine crushed stone, or paved with asphalt or other materials approved by the Planning Commission.



### **Encouraged Guidelines**

- Existing informal paths or trails should be recognized and improved to ensure connection to and through sites, and access to parks and open spaces.
- Sidewalks and trails crossing parking lots and driveways should be made more visible by varying the texture and color of walkway materials.
- Sidewalks, paths and trails should be integrated with landscaping design.

## **2. Specifications**

The sidewalk specifications shall be designed as stated in Article VI of the Town Subdivision Requirements, unless the frontage is located on a State Maintained Highway. If the frontage is not a local roadway, the requirements must be met for State Highway Administration.



## C. STRUCTURES

### 1. General Design

***Intent-***To assure that new neighborhoods and infill residential development will be of a compatible style with existing neighborhoods within Cecilton.



#### **Required Standards**

- Single residential units or infill development shall be code compliant and be of an equal or higher architectural style than that of adjacent residential structures. Residential structures within new subdivisions shall also be of a consistent architectural style to that of the surrounding community and incorporate similar material in the design of the homes, or of an architectural style approved by the Planning Commission.
- Buildings shall incorporate front porches or stoops with or without overhangs constructed of materials appropriate to the structure.



#### **Encouraged Guidelines**

- Architectural styles that reflect traditional architectural and historic context of the Town of Cecilton should be encouraged.
- The use of additional architectural detail and elements, such as picket fences, hedge rows, trellises, etc., are also encouraged.
- The use of front porches, alleys, and rear or side accessed garages or parking areas behind homes is encouraged.



### 2. Building Materials

***Intent-***To provide residential structures constructed of durable and aesthetically appealing materials, and create a quality living environment.

### **Required Standards**

- Exterior materials shall consist of brick, stone, stucco, fiber-cement composite, wood clap board or shake type, or vinyl. Materials other than standard building materials may be approved by the Planning Commission.
- Roofing materials shall consist of asphalt or wood shingle, slate, or colored segmented metal roofing materials. Other materials may be approved by the Planning Commission.
- Home foundation shall be faced with brick or pargeted stucco surfacing.
- No exposed concrete or concrete block shall be visible.



### **Encouraged Guidelines**

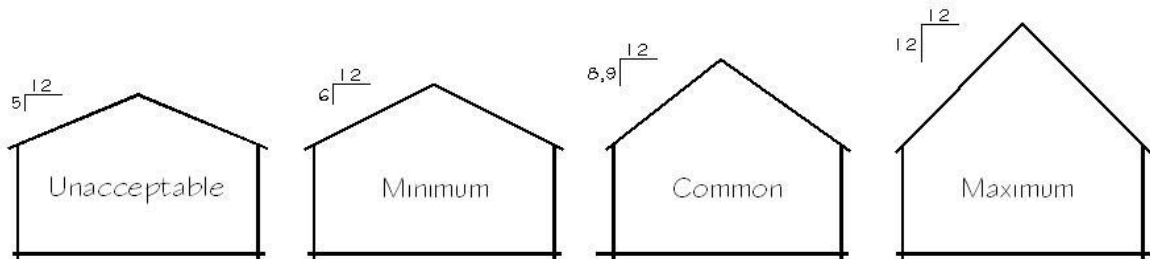
- When vinyl siding is used, a variety of styles utilizing decorative architectural elements should be used.

## **3. Roof Pitch (Minimum/Maximum)**

***Intent-***To maintain the residential scale and character of neighborhoods.

### **Required Standards**

- Structures shall incorporate pitched roof forms having slopes between 6:12 (rise: run) and 12:12 (not applicable to porches and dormers).



### **Encouraged Guidelines**

- Gables facing the street are encouraged.
- Dormers should be used to break up long lengths of roof.
- No adjacent residential structures on the same side of the street should have the same roof face or style.





#### 4. Windows

***Intent-***To enhance the scale of a building and delineate stories.

##### **Required Standards**

- Windows shall be provided in facades facing streets, comprising at least 20% of the building wall area.

##### **Encouraged Guidelines**

- Windows should have visually prominent trim.
- Other decorative window features are encouraged, such as:
  - (a) arched windows
  - (b) mullions
  - (c) awnings
  - (d) flower boxes
  - (e) window shutters, sized appropriately and proportionately to the window
- A variety of window sizes and shapes that contribute to overall composition is also encouraged.



#### 5. Articulation of Walls

***Intent-***To provide visual variety along the street facade.

##### **Required Standards**

- Buildings shall include articulation along the facades facing and visible from public view. Flat, bland walls are discouraged.
- Horizontal facades longer than 30 feet shall be articulated into smaller units, consistent with the residential scale. At least two of the following methods shall be included:
  - (a) distinctive roof forms
  - (b) changes in materials
  - (c) window patterns
  - (d) color differentiations
  - (e) recesses/offsets
- No adjacent residential structures shall have the same front façade.



## 6. Front Yard/Entrances

**Intent-**To provide separation between buildings and the public pedestrian realm where the front yard functions as usable outdoor space and provides a clear, welcoming, and safe entry for pedestrians from the sidewalk into the building.

### Required Standards

- Primary building entrances shall be clearly identifiable and visible from the street with well-defined walkways from pedestrian routes to building entrances.
- Landscaping shall screen or reduce views to adjacent commercial or industrial development and utility boxes.
- Primary building entrances shall face the street. If the doorway does not face the street, a clearly marked and well maintained walkway shall connect the entrances to the sidewalk.



### Encouraged Guidelines

- Front yards should include an entrance sequence between the sidewalk and the building including elements such as porches, stoops, trellises, site furnishings, low hedges, landscaped borders, and special paving.
- Accent lighting may be used to highlight special focal points, building/site entrances, public art and special landscape features.
- Signage identifying building address should be visible from the street and public pedestrian walkway.
- Primary entrance doors should provide decorative elements such as architectural trim, lighting and signage.

## 7. Individual Outdoor Spaces

**Intent-**To provide private outdoor space as distinct from common spaces that encourages a sense of ownership by residents.

### Required Standards

- Outdoor spaces such as yards, decks, terraces, and patios shall be delineated from common space. Delineation may consist of walls, fences, berms, hedges, and landscaping.
- Outdoor spaces used to meet these standards shall not be located within required landscape buffer areas.

- Outdoor spaces shall not be located adjacent to dumpster enclosures, loading/service areas, or other incompatible uses.

## 8. Location of Garages

***Intent-***To ensure that garage doors do not dominate street-facing facades, overshadow pedestrian entryways and to allow free pedestrian access to sidewalks by providing adequate driveway length for parking of vehicles.



### **Required Standards**

- When garage doors are facing the street, they shall be set back at least 25 feet from the required sidewalk.
- Building front facade shall extend at least 5 feet closer to the front lot line than the face of the garage doors.
- Where improved alleys exist, access to garages shall be from the alley.

### **Encouraged Guidelines**

- When feasible, garages are to be located to the rear or side of the residence.
- Garage doors should be of appropriate materials and enhance the character of the structure and the residence.



## D. OPEN SPACE/RECREATION

***Intent-***To assure that residential developments within the Town of Cecilton provide quality recreational amenities, visually attractive open spaces, and protected natural resources.

### **Required Standards**

- Areas of designated open space shall be located to provide convenient access to open space by residents within the community.

- Areas for both active and passive recreation must be provided within the designated open space, per the Zoning Ordinance Requirements.
- Open space areas, with the exception of greens or specialized recreation areas, shall be arranged to maintain contiguity with other designated open space areas or similar areas on adjacent lands wherever possible in order to ensure the potential for a contiguous open space network throughout the Town.
- Open space area shall be well planned to protect existing scenic view sheds.
- Areas of existing natural resources, such as a stand of trees, habitat areas, wetland or other unique natural or historic feature will be incorporated into the overall open space of the project.
- Existing water bodies, ponds, floodplains, or wetlands may not comprise more than 25% of the required open space.
- Drainage ditches and other easements shall not constitute more than 5% of the required open space.
- The Planning Commission may approve the use of improved wet pond storm water facilities as open space as long as such facilities also provide recreational and scenic amenities, such as fountains, seating areas, piers, perimeter trails, etc, and that the pond/s be appropriately integrated into the landscape by location and landscaping. Stormwater pond/s should not comprise more than 25% of the total required open space; however, the Planning Commission may approve a percentage in excess of 50% if Applicant can demonstrate additional amenities are incorporated such as fountains, gazebos, and bridges that make the pond more of an asset.
- Recreational Open Space within a residential project consisting of 20 units or more shall provide at least two of the following from each category of recreational amenities. Residential projects of less than 20 units must provide at least two passive recreation items.



### **Passive Recreation**

- (a) Greens
- (b) Sitting area
- (c) Picnic area
- (d) Open lawn with trees
- (e) Habitat/conservation areas
- (f) Water features



- (g) Historic structure or building(s)
- (h) Community gardens or special interest landscape
- (i) Rain garden stormwater treatment area
- (j) Gazebo, pergola, or pavilion
- (k) Outdoor site furnishings



### Active Recreation

- a) Tot-lot or age appropriate playground
- b) Play fields
- c) Sports Courts such as tennis, basketball, volleyball, etc.
- d) Bicycle paths and facilities
- e) Trails
- f) Swimming Pool
- g) Club house or community center with indoor recreational facilities
- h) Other appropriate recreational facilities as approved by the Planning Commission



- Parking for recreation and open space areas should not be oversized so as to discourage use as overflow parking for the residential areas.
- Recreational facilities must be appropriately landscaped and lighted.

### **Encouraged Guidelines**

- If possible historic structures should be incorporated into the overall open space plan for the project.
- Greens or squares should be provided within larger residential projects of 50 units or more.
- Any portion of open space designed to provide plant and animal habitat shall be kept as intact as possible. Trails should be designed to avoid fragmenting these areas.



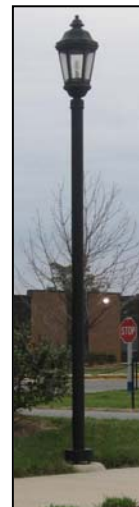
## **E. LIGHTING**

### **1. Residential**

***Intent-*** To maintain a safe, secure, and attractive environment through the use of adequate and attractive lighting.

#### **Required Standards**

- Street light poles must comply with the standard street light pole as identified in this document. Any proposed alternative must be of equal quality or style. All fixtures will be approved by the Planning Commission.
- Residential street lights shall not exceed 12 feet in height.
- Lighting styles for street lights must be of one of the following approved styles (*light style names are taken from the local electric provider's available pole types*):
  - (a) Granville Style without ribs or equivalent
  - (b) Arlington Style or equivalent
  - (c) Clearwater style or equivalent
  - (d) Traditionaire style or equivalent
- All residential lighting shall be of a style compatible and consistent with the architectural style and historic context of the structure or development.



- Building-mounted lights shall be installed below the eave line and no higher than 14 feet unless used to illuminate a second story entry, eave, balcony, or outside stairway or door where in such case it should be no higher than 8 feet above the floor elevation of the second story.
- Residential pole mounted (other than street lights) or wall-mounted fixtures shall be limited to 8 feet in height above finished grade.
- All lighting shall be glare-free and shielded from the sky and adjacent residential properties and structures, either through exterior shields or through optics within the fixture.
- Lighting levels and design shall comply with Illuminating Engineering Society of North America's Recommended Practices and Design Guidelines, latest edition.

## **2. Sports and Athletic Field Facilities**

- The average and/or maximum light luminance, measured in foot-candles, shall not exceed the recommended average or maximum guideline established for the proposed recreational use by the Illuminating Engineering Society. The Town may, as part of the conditional use permit process, restrict lighting to a level less than the Illuminating Engineering recommended guideline.
- The maximum height of outdoor lighting for courts (basketball, volleyball, handball, horseshoe, etc.) shall not exceed twenty-five (25') feet as measured from finished grade.
- Lighting for night play for baseball, football or soccer facilities shall not be higher than 100 feet above finished grade; however, for any lighting above 80 feet above finished grade, the applicant shall demonstrate that the additional height is necessary to reduce spill and glare.
- Lighting shall be directed to areas within the property line to minimize glare in surrounding areas. Spillover and glare shall be minimized by using fixture cutoffs and optically controlled luminaires at the boundary of lighted areas.
- Lights shall be extinguished not later than (1) hour after the end of an event.

## **3. Prohibited**

- Flashing lights – Any lights that flash, move, revolve, rotate, scintillate, blink, vary in intensity or color, or use intermittent electrical pulsation.
- Outdoor string of lights, including but not limited to those outlining lot lines, or outdoor display or sales lots.
- Luminous colored tube lighting provided, however, that luminous tube lighting may be used when specifically requested of and approved as an integral architectural element of a development plan by the Planning Commission.

- The following lighting fixtures are prohibited in all new or re-development projects:
  - (a) Cobra style fixtures
  - (b) Open bottom fixtures
  - (c) Flood light fixtures
  - (d) Mongoose fixtures
  - (e) Other non-fully shielded fixtures.
- Colored lighting unless specifically approved by the Planning Commission.

#### **4. Exempt**

- The following lighting is exempt from lighting standards:
  - (a) Holiday decorations
  - (b) Construction or emergency lighting
  - (c) Additional lighting needed for highway safety, and state approved traffic control devices
  - (d) Industrial lighting shall be exempt from these standards; however, illumination from lighting on site shall not traverse or leave the site.
  - (e) State approved traffic control devices and lighting use for highway safety

Note: All lighting shall follow the guidelines as amended by the IESNA – Illuminating Engineering Society of North America.

### 3. MULTI-FAMILY DESIGN



All multi-family structures will be subject to the Residential Development Design Standards as well as the standards listed below.

#### A. STRUCTURES

##### 1. Front Yard and Building Entrance

**Intent-**To provide separation between buildings and the public pedestrian realm where the front yard functions as a usable outdoor space and provides a clear, welcoming, and safe entry for pedestrians from the sidewalk to the building.



##### Required Standards

- When there are common entries, they shall be clearly identifiable and visible from the street with well-defined walkways from pedestrian routes to building entries.
- All structures shall have visible address number on the structure facing the parking area or street with the ability to be seen during all hours of the day (reflective material or illumination as determined by the Planning Commission).
- Front yards shall include an entrance sequence between the sidewalk and the building including elements, such as trellises, site furnishings, low hedges, landscaped borders, and special paving.
- Pedestrian scale lighting shall be provided to create conditions of personal security.
- Primary building entrances shall face the street or as determined by the Planning Commission.





### **Encouraged Guidelines**

- All landscape areas should include a wide range of plant materials including perennials and flowering shrubs. A minimum of 40% plant material should provide seasonal color or interest.
- Landscape planting should consider the use of native shrubs and groundcovers.
- Accent lighting should be used to highlight special focal points, building/site entrances, public art and special landscape features.

## **2. Roof Pitch**

### **Required Standards**

- Structures shall incorporate pitched roof forms having slopes between 6:12 and 12:12 (vertical: horizontal).
- Roof mounted mechanical equipment located on the exterior of the roof shall be located within wells or pockets to preserve the visible rooflines. The mechanical well floor would not be subject to the slope. However, in no event shall such roof mounted equipment project above the building's roof line. All mechanical equipment and structures must be screened from view.

## **3. Architectural Features**

***Intent-***To ensure that all sides of a building have visual interest.

### **Required Standards**

- All sides of the building visible from a street, public open space or alley shall be given architectural treatment using two or more of the following:
  - (a) visible rooflines
  - (b) windows
  - (c) secondary entrances
  - (d) balconies
  - (e) architectural details
  - (f) awnings





- Dormers shall be used to break up long lengths of roof.

- Horizontal facades longer than 30 feet shall be articulated into smaller units, consistent with the residential scale. At least two of the following methods shall be included:

- (a) distinctive roof forms
- (b) changes in materials
- (c) window patterns
- (d) color differentiations
- (e) recesses/offsets



- Buildings shall include articulation along the facades facing and visible from public rights. Flat, bland walls are discouraged.

### **Encouraged Guidelines**

- Gables facing the street are encouraged.
- Windows should have visually prominent trim.
- Other decorative window features are encouraged, such as:
  - (a) arched windows
  - (b) mullions
  - (c) awnings
  - (d) flower boxes
  - (e) window shutters, sized appropriately and proportionately to the window
- A variety of window sizes and shapes that contribute to overall composition is also encouraged.
- Wing-roof porches to create roof line interest.





## B. OPEN SPACE

### 1. Common Areas

***Intent-***To provide a pedestrian friendly environment through the creation of a variety of usable and interesting opens spaces within multifamily developments.

#### **Required Standards**

- Multi-family projects shall be sited to maximize opportunities for creating usable, well-integrated open space.
- Where provided, pedestrian spaces shall be visible and accessible to residents.
- Common outdoor spaces shall provide at least four of the following amenities to accommodate a variety of ages and activities. The location of any such amenities shall be approved by the Planning Commission. Amenities include:
  - (a) Site furnishings
  - (b) Picnic areas
  - (c) Patios or courtyards
  - (d) Gardens
  - (e) Open lawns with trees
  - (f) Play fields
  - (g) Special interest landscapes
  - (h) Pedestrian scale, bollard or other accent lightings
  - (i) Special pavings such as colored or stained concrete, stone, brick, or other unit pavers
  - (j) Public art
  - (k) Water features
  - (l) Sports courts such as tennis, basketball, or volleyball
  - (m) Tot lot
  - (n) Play equipment
  - (o) Hardscape tables for card and board games
  - (p) Other options as determined and approved by the Planning Commission





### **Encouraged Guidelines**

- Outdoor seating opportunities such as benches, seat walls, ledges, perches, boulders, artwork, etc. should be provided near building entries, along walkways, and other pedestrian routes outside of parking areas.
- Garden elements, such as trellises, arbors, hanging baskets, site furniture, and container planting are encouraged within open spaces, along pedestrian circulation routes and to define building and/or residential entrances.
- A minimum of 25% of the landscaped area should be planted with trees and plants, other than turf or lawn. Reforestation or protection of existing woodlands may satisfy this requirement.
- Perennials and/or annuals are encouraged to provide special interest and highlight pedestrian areas such as building and/or site entrances, public open space, plazas and major pedestrian routes.

## **2. Individual Outdoor Space**

***Intent-***To provide outdoor space that encourages a sense of ownership by residents.

### **Required Standards**

- When present, individual outdoor spaces such as decks, terraces, and patios shall be visually shielded from each other. Shielding may consist of walls, fences, berms, hedges, and landscaping.
- Outdoor spaces used to meet these standards shall not be located within required landscape buffers.
- Outdoor spaces shall not be located adjacent to dumpsters, enclosures, loading/service areas, or other incompatible uses.

### **Encouraged Guidelines**

- Where landscaped areas are provided, plant materials should be a mixture of deciduous and evergreen varieties. A minimum of 20% plant varieties shall provide interesting color, texture, aroma, and/or other special interest.

## **C. MULTI-FAMILY SERVICES**

### **1. Mailbox Locations**

***Intent-***To provide a safe and sheltered area for cluster mailbox service accommodating multiple residents located within a multi-family development.

### **Required Standards**

- Location of the cluster mailbox shall be centrally located to accommodate several residents and built as determined by the local postmaster.
- A weather protected shelter/facility shall be built to allow the use of the facility to pick up and drop off mail that is safe and provides pedestrian scale light.
- Pedestrian access to the mailbox location shall be provided and clearly identified as a safe and clear passage for pedestrians.
- The shelter/facility shall be built according to the character of the neighborhood.



## **2. Bus Drop Off/Pick Up Area**

***Intent-*** To provide a safe and sheltered area for bus services to include mass transit and school bus service accommodating multiple residents located within a multi-family development.

### **Required Standards**

- Location of the bus service area shall be centrally located. A designated parking pull off from existing roadways to allow traffic to continue to move in a safe manner shall be provided.
- The centrally located parking area shall be next to a weather protected shelter/facility while residents wait for the bus service.
- This facility shall be located in a safe and well lit area. The roadway network shall be designed so that buses can maneuver easily and have clear view of bus stops and pedestrian walkways.
- The proposed facility shall also be built so the residents awaiting pick up can sit and see the bus arriving.



- The shelter/facility shall be built according to the character of the neighborhood.

### 3. Screening of Trash and Service Areas

***Intent-***To provide a safe and clearly marked area for deliveries as well as trash service pick-up. This area should be clear of vehicular traffic and high pedestrian volume to enable delivery vehicles an area without any obstructions to perform such services. Reduce the impact of service, loading and trash storage areas.

#### **Required Standards**

- All service, loading and trash dumpster areas shall be screened by a combination of masonry, wood, or vinyl walls and planting areas.
- Dumpsters shall be screened by walls and plantings on four sides and placed on concrete pad.
- Loading and service areas shall not face any residential district, unless no other location is possible as deemed by the Planning Commission.
- Loading areas shall be connected to the building or immediately adjacent to the building which the loading area services.
- Shoulders or right of way areas shall not be used or designated as loading areas.



## 4. COMMERCIAL



### A. PARKING

#### 1. Location of Parking Lot

**Intent-** To maintain a contiguous, active pedestrian realm along street fronts by locating parking lots behind buildings.

In situations where there is one building on a property, the intention of the standard is to require the parking relating to that building to be located primarily behind the building. When one or more larger primary buildings are located in the interior of a property and multiple satellite pads are located adjacent to the street frontages, the intent is to locate the individual building pads close to the street frontage in a manner which breaks up the appearance of the parking area bulk from the viewpoint of the adjacent street frontages.

When buildings and the open space adjacent to them are located near the property frontage rather than being separated from the street frontage by parking areas, the need for common space near the interior of the property is considered less essential.

#### Required Standards

- Commercial parking lots shall be located behind buildings. Commercial parking lots shall only be allowed to remain in front of or beside buildings as permitted by the Planning Commission.
- Parking lots shall be located behind buildings in new mixed-use developments or relocated behind buildings in redevelopment.
- Parking lots shall provide a minimum 10 foot wide planting area between the parking lot and street right-of-way to include:
  - a year-round sight barrier,
  - evergreen shrubs,
  - evergreen ground cover,
  - shrub material maintained at maximum height of 3 feet for visibility and maintain year-round color and interest.



#### 2. Drive thru Businesses

**Intent-** To reduce the impact of car-oriented drive-thru businesses on pedestrian activity.

### **Required Standards**

- Drive-thru windows shall not be located between the building and major roadways.
- Drive through areas and lanes must be physically separated from parking areas and provide safe access to building entrances as approved by the Planning Commission.

## **3. Parking Lot Circulation**

**Intent-** To provide safe and efficient vehicular and pedestrian circulation within parking lots.

### **Required Standards**

- Parking lots shall provide clear, logical, and well defined vehicular circulation within and through the lot.
- Planting islands and curbing shall be used to clearly define and separate travel lanes and parking areas.
- Pull in or back out parking spaces are prohibited on primary vehicular travel lanes within parking lots with thirty (30) or more spaces.
- Parking spaces are prohibited in the vicinity of the driveway entrance and/or exit.
- Cross access easements shall be provided between commercial parcels to allow for interconnection of parking areas.
- Provisions shall be made to connect to future development and planned or existing adjacent parking lots by dedication of easements for future connections. Said connections shall be shown on the site development plan and is required for Record Plan approval.
- Accommodation for loading and unloading shall be designed to provide adequate space for efficient maneuvering into and out of loading position at properly constructed docks located either within a building or in the yard on the same lot.

## **4. Parking Lot Landscaping**

**Intent-** To reduce the visual impact of parking lots through landscaped areas and/or architectural features that compliment the overall design and character of development.

(Also applicable to a storage lot, gas station aprons, and drive-thrus)

### **Required Standards**

The number of trees required in the internal planting areas in parking lots shall be dependant upon the location of the parking lot in relation to the building and public right-of-way:

- Where the parking lot is located between the building and the public right-of-way, one tree for every five spaces shall be provided (1:5).
- Where the parking lot is located to the side of the building and partially abuts the public right-of-way, one tree for every seven spaces shall be provided.(1:7)
- Where the parking lot is located behind building and is not visible from the public right-of-way, one tree for every ten spaces shall be provided (1:10).
- Internal Planting areas should be provided, providing shading, to break up long rows of parking, and to aid and facilitate vehicular circulation through the parking lot.
- The Planning Commission may allow extensively landscaped storm water facilities to be counted as a percentage of the required landscaping.



## 5. Parking Lot Screening

***Intent-*** To provide visually attractive screening of parking in development visible from the public right-of-way, while providing visibility for surveillance.

(Also applicable to a storage lot, gas station aprons, and drive thrus)

### **Required Standards**

- Parking lots that abut the public right-of-way shall be screened with one or a combination of the following treatments:
  - Low walls made of masonry, or other similar permanently affixed materials, and not exceeding a maximum height of 3 feet.
  - Raised planter walls planted with a minimum 80% evergreen shrubs not to exceed a total height of 3 feet, including planter wall and landscape planting.
  - Landscape plantings consisting of trees of which at least 80% are deciduous. Shrubs and groundcover materials of which at least 80% are evergreen.



- Walls, fencing, and architectural details shall compliment the materials used in adjacent architectural styles.
- Walls and raised planters shall not exceed a maximum height of 3 feet, unless a screen treatment is provided that does not create a safety hazard.
- Where walls are provided, landscape planting areas shall be a minimum width of 5 feet and shall be located adjacent to the public right-of-way.
- Fencing around parking lots shall be in conformance with the existing Town Code.
- All plant material used for parking lot screening shall be managed and/or selected to provide clear views between 3 and 8 feet above the ground surface, for surveillance purposes.



### **Prohibited Fencing**

- Chain link fencing, with or without coating, shall not be used on any street frontage, adjacent to a public sidewalk or adjacent to a residential designation.

## **6. Pedestrian Walkways through Parking Lots**

***Intent-*** To provide safe, convenient, and attractive walkways for pedestrians through parking lots.

### **Required Standards**

- For parking lots that contain greater than 30 parking spaces, pedestrian connections shall be clearly defined in a combination of 2 or more of the following ways:
  - Special paving, such as colored concrete, pavers etc. in an asphalt area.
  - A continuous landscape area minimum 3 feet wide on at least one side of the walkway (where walkways abut a public right-of-way and/or driving aisles,

the landscape area shall be provided between the walkway and the public right-of-way or driving aisle).

- Surfacing materials must be safe and conducive for navigation by strollers, wheel chairs, walkers and carts.
- ADA compliant connections shall be provided from ADA parking stalls to the main pedestrian walking routes and building entrances.
- Pedestrian walkways within parking areas shall be a minimum 5 foot width of clear, unobstructed passage.
- Pedestrian walkways shall provide a distinct linkage between a main entrance to the building and a concentration of vehicle parking spaces in order to encourage its use by pedestrians.
- When buildings are not located directly adjacent to the sidewalk, pedestrian walkways shall connect the public sidewalk in the right-of-way to the main building entrance in a clear and direct manner, regardless of the number of parking spaces.
- Where transit stops or pedestrian drop off sites occur in the public right-of-way (if applicable), pedestrian walkways shall provide a direct and clear connection from the building's main entrance to the transit stop/pedestrian drop off site.
- Night lighting shall be provided where stairs, curbs, ramps, abrupt changes in walk direction, and crossing vehicle lanes occur. Lighting must be ground-affixed lighting only the area of concern.
- Pedestrian drop off areas shall be designated by signage or markings and not be located near high volume travel lanes or within fire lanes.

## **7. Mass Transit Bus Drop Off/Pick Up Area**

***Intent-*** To provide a safe and sheltered area for mass transit bus services, if the services are available.

### **Required Standards**

- Location of the bus service area shall be centrally located. A designated parking pull off from existing roadways to allow traffic to continue to move in a safe manner shall be provided.
- The centrally located parking area shall be next to a weather protected shelter/facility while customers wait for the bus service.





- This facility shall be located in a safe and well lit area. The roadway network shall be designed so that buses can maneuver easily and have clear view of bus stops and pedestrian walkways.
- The proposed facility shall also be built so the customers awaiting pick up can sit and see the bus arriving.

## **B. SIDEWALK AND PEDESTRIAN**

### **1. Connections**

***Intent-*** To improve the pedestrian environment by making it easier, safer, and more comfortable to walk among businesses, to the street sidewalk, to transit stops, and to adjacent properties by providing sidewalks and general connections. Creating a network of safe, convenient, and attractive internal linkages for pedestrians between retail and mixed use developments while maintaining consistent street frontage and character for street right-of-ways.



#### **Required Standards**

- Sidewalks shall be provided along all street frontages with appropriate connections to adjacent parcels and development provided.
- All sidewalks must be installed using the requirements and specifications as determined by the State Highway Administration (SHA).
- Any site work planned within State Roadways must obtain approvals from the State Highway Administration (SHA).
- Any new development or redevelopment shall provide for pedestrian connections between all internal commercial and residential uses.
- Provisions shall be made to connect to future development and planned or existing sidewalks or pedestrian trails by dedication of easements for future connections.
- Crosswalks shall be required to create a visual and tactile connection between barrier free access curb ramps for the purpose of demarcation of appropriate pedestrian street-crossing locations in the following instances:

- At points of intersection between local residential streets or State maintained streets.
- At all signalized intersections adjoining the development site.
- At key locations to provide safe street crossing access to active or passive parkland and open space areas, schools, playgrounds, neighborhood shopping centers and similar pedestrian destinations within and adjoining the development



- The locations and criteria for curb ramps must meet SHA design and construction standards and the ADA Accessibility Guidelines for Buildings and Facilities (ADAAG) which gives requirements under the Americans with Disabilities Act (ADA) of 1990.

- Sidewalks and trails should be integrated with overall landscaping design.
- Pedestrian trails and connections shall be provided to adjacent pedestrian facilities such as sidewalks and trails and provide linkages to destinations within town such as public buildings, parks, commercial centers and other residential areas. These connections shall be 5'-6' wide or as determined by the Planning Commission.
- Pedestrian trails shall be constructed of durable pervious materials including soil cement, pavers, grass pavers, or paved with asphalt or other materials approved by the Planning Commission. These connections shall be 5'-6' wide or as determined by the Planning Commission.
- Trails must meet ADA recommendations for trail construction.
- Pedestrian connections shall be clearly defined in a combination of 2 or more of the following ways:
  - (a) a trellis, special railing, bollards, and/or other architectural features to accent the walkway at key points.
  - (b) a continuous landscape area should be a minimum of 3 feet wide on at least one side of the walkway, except as walkways cross vehicular travel lanes (where walkways abut a public right of-way and/or driving aisles, the landscape area shall be provided between the walkway and the public right-of way driving aisle).
- Pedestrian connections shall be reinforced with pedestrian scale lighting, bollard lighting, accent lighting or a combination thereof to aid in pedestrian way-finding.

- Pedestrian walkways shall include clear sight lines to building entrances and should not be less than 5 feet wide.

### **Encouraged Guidelines**

- Existing informal paths or trails should be recognized and improved to ensure connection to and through sites, and access to parks and open spaces.
- Plant materials in pedestrian landscape areas should consist of a mixture of evergreen and deciduous trees and shrubs. A minimum of 20% of plant varieties should provide year-round color, texture and/or other special interest. Shrubs should be maintained at a maximum 3 foot height for visibility. Ground covers should be evergreen varieties.

## **C. STRUCTURES**

### **1. Prominent Entrance**

**Intent-** To ensure that building entrances are welcoming and easily identifiable from streets and sidewalks.





### **Required Standards**

- Visual prominence - the principal entry to the building shall be marked by at least one element from each of the following groups or any other combination of elements as approved by the Planning Commission:

<b>Group A</b>	<b>Group B</b>	<b>Group C</b>
(a) recess (b) overhang (c) canopy (d) portico (e) porch	(a) clerestory (b) ornamental lighting fixtures (c) large entry door(s)	(a) stone, masonry or tile paving in entry (b) ornamental building name or address (c) pots or planters with flowers (d) seating



- No permanent or non-permanent element that is attached to the principle building shall project or extend over the walkway with the exception of standards for inclement weather protection.

## 2. Massing

***Intent-*** To reduce the apparent bulk of multi-story buildings and single-story buildings 15 feet or more in height, and maintain town scale by providing a sense of “base,” “middle,” and “top.”

### **Required Standards**

- Buildings shall have a distinct “base” at the ground level using articulation and materials, such as stone, masonry, or decorative concrete. Distinction may also occur through the following:
  - (a) windows
  - (b) architectural details
  - (c) canopies
  - (d) overhangs
  - (e) masonry strips and cornice lines
- The “top” of the building shall emphasize a distinct profile or outline with elements such as a projecting parapet, cornice, upper level step back, or pitched roofline.



### **Encouraged Guidelines**

- The “middle” of the building may be made distinct by change in material or color, windows, balconies, step backs, and signage.

## 3. Ground Level Details

***Intent-*** To reinforce the character of the streetscape by encouraging the greatest amount of visual interest along the ground level of buildings facing pedestrian streets.

### **Required Standards**

- Ground-floor, street-facing facades of commercial and mixed use buildings shall incorporate at least five of the following elements:
  - (a) Medallions
  - (b) Belt courses
  - (c) Plinths or columns

- (d) Kickplate for storefront window
- (e) Projecting sills
- (f) Tilework
- (g) Pedestrian scale sign(s) or sign(s) professionally painted on windows
- (h) Planter box
- (i) Front porches or stoops
- (j) An element not listed here that meets the intent, as approved by the Planning Commission

- Building facades not facing a street shall incorporate at least three of the above mentioned items.

#### 4. Screening Blank Walls

**Intent-** To ensure that buildings do not display blank, unattractive walls visible from the street or public areas, including parking lots.

##### Required Standards

- Walls 30 or more feet in length facing streets or visible from residential areas where windows are not provided shall have architectural treatment. At least four of the following elements shall be incorporated into any ground floor, street-facing facade:
  - (a) masonry (but not flat concrete block)
  - (b) concrete or masonry plinth at the base of the wall
  - (c) belt courses of a different texture and color
  - (d) projecting cornice
  - (e) projecting canopy
  - (f) medallions
  - (g) trellis containing planting
  - (h) decorative woodwork or tile work
  - (i) opaque or translucent glass
  - (j) artwork
  - (k) vertical articulation
  - (l) lighting fixtures
  - (m) recesses
  - (n) an architectural element not listed above, as approved, that meets the intent.
- Window walls are not permitted.



#### 5. Plazas, Courtyards, and Seating Areas

**Intent-** To reinforce and encourage the pedestrian nature of Cecilton by providing usable passive open space.



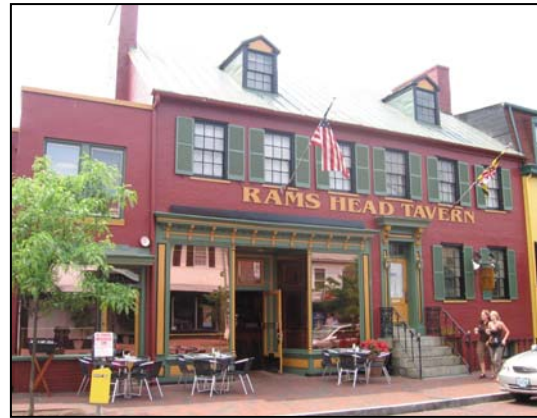


### **Required Standards**

- Where provided, pedestrian spaces shall be visible and accessible to the public.
- Plazas, courtyards and other pedestrian spaces shall include at least three of the following:
  - (a) special interest planting with a wide range of plant materials including perennials and flowering shrubs. Approximately 65% plant material used shall provide seasonal flower and/or foliage color.
  - (b) pedestrian scale, bollard, or other accent lighting
  - (c) special paving, such as colored/stained concrete, brick or other unit pavers. The use of low impact development materials, if appropriate to the site conditions, is encouraged.
  - (d) seating, such as benches, tables, or low seating walls
  - (e) water feature, such as a fountain, etc.

## **6. Site Furnishings**

***Intent-*** To create a more pedestrian friendly street frontage through the use of permanent site furnishings at main pedestrian walkways, building entrances and other pedestrian areas.



### **Required Standards**

- Permanent site furnishings, such as benches, tables and other pedestrian amenities shall be made of durable, weather-resistant and vandal-resistant materials.
- Permanent site furnishings shall be consistent with the overall character and appearance of the development.

### **Prohibited**

- Site furnishings shall not block pedestrian access to main walkways, open space areas and/or building entrances, bus or pedestrian loading, or drop off areas.



### **Encouraged Guidelines**

- Permanent site furnishings, such as benches, tables, bike racks and other pedestrian amenities, are encouraged to be provided at main pedestrian walkways, building entrances, plazas, open spaces and other pedestrian areas.

## **7. Orientation to Streets**

**Intent-** To ensure that buildings add to the liveliness of streets and the overall community character.

### **Required Standards**

- Buildings, along with trees and landscaping shall be predominant rather than parking lots and free-standing signs.
- Pedestrian access to the building shall be visually and functionally clear and should offer a convenient alternative to walking through driveway entrances and exits.

### **Encouraged Guidelines**

- People traveling along the main roadways should be able to see storefronts, windows, merchandise, and other aspects of business activity.





## 8. Setbacks

**Intent-** To ensure the visibility of retail businesses and establish active, lively uses within close proximity to the sidewalk.

### Encouraged Guidelines

- Commercial buildings should be set as close as possible to all adjacent sidewalks and a minimum distance of 30 feet from the edge of right-of-way or Commercial buildings shall be setback 40 feet from the centerline of the right-of-way.
- Portions of buildings should be set as close as possible to the sidewalk or property line, which can be accomplished in various ways. For instance, major portions of single buildings should abut the sidewalk. In multi-building developments, one or more buildings should be set to the sidewalk.
- The requirement for Common Space will be waived in the instance where a development locates its parking area behind the building and locates the building as close as is practical to the sidewalk and street frontage.



## 9. Weather Protection

**Intent-** To provide weather protection for pedestrians.

### Required Standards

- Overhead protection providing shelter from inclement weather at the main building entrance is required. Any method used to provide said protection shall be combined with the method used to achieve visual prominence.
- Where buildings are adjacent to a sidewalk, canopies or awnings shall be provided. The minimum depth of any canopy or awning must be 5 feet unless limited by the building code. The vertical dimension between the underside of a canopy or awning and the sidewalk must be at least 8 feet and no more than 12 feet.



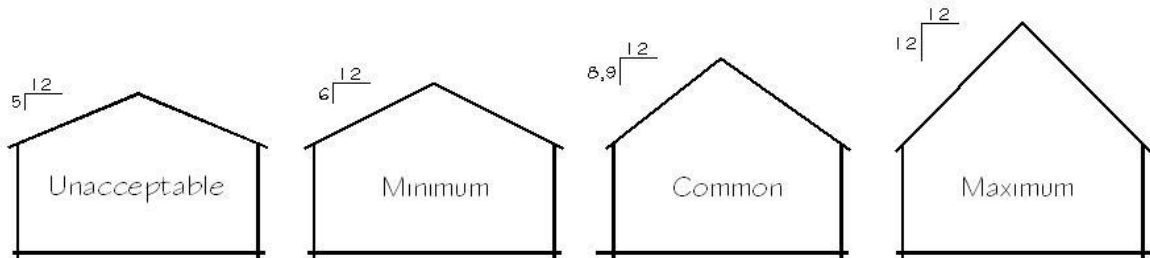
## 10. Roofline Expression

**Intent-** To ensure that rooflines present a distinct profile and appearance for the building and express the neighborhood character.



### Required Standards

- Commercial buildings shall be designed to maintain the residential scale of commercial buildings presently located along roadways. To attain the continuation of residential scale, the use of sloping rooflines shall be required. Any alternative roofline not utilizing sloping elements must be approved by the Planning Commission.
- The minimum allowable roof pitch shall be a 6/12 pitch.



## 11. Concealing Rooftop Equipment

**Intent-** To screen view of rooftop mechanical and communications equipment where visible from the street level.

### Required Standards

- Mechanical equipment shall be screened from public areas by extended parapet walls or other roof forms that are integrated with the architecture of the building.
- Painting mechanical equipment and erecting fences are not acceptable methods of screening.



- Communication equipment shall be blended in with the design of the roofs, rather than being merely attached to the roof deck.
- Due to the nature and need for exposure of solar panels it may be difficult to conceal solar panel equipment. Should it not be possible to conceal the panel equipment, the location and placement of such equipment must be approved by the Planning Commission.

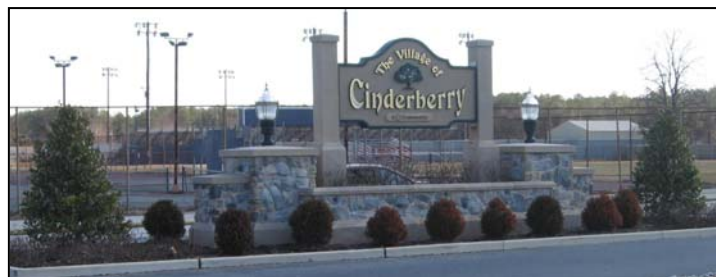
## 12. Expression at Entrances to Large Developments

***Intent-***To provide a reference point at the end of a block of facades or to mark intersections or entrances to developments larger than 5 acres by providing visual interest at their entrance to the street. These expressions should be consistent with the character of the Town and not appear as a “gated community” separate from the Town.



### Encouraged Guidelines

- Developments at intersections should emphasize this unique aspect with two or more of the following methods:
  - (a) placement of the primary entry
  - (b) articulation
  - (c) towers
  - (d) plazas
  - (e) distinctive roof forms
  - (f) other architectural features
  - (g) landscaping
- All entrance signs will be subject to approval by the Planning Commission.



## D. LIGHTING

Note: All lighting shall follow the guidelines as amended by the IESNA – Illuminating Engineering Society of North America.

## 1. Height

***Intent-*** To maintain a safe, secure, and attractive environment using adequate and attractive lighting.

Exterior lighting shall serve as a security measure and increase general visibility. The lighting of buildings, landscaping, driveways, signs and other exterior uses of lighting shall be designed to minimize the light and glare on adjacent neighborhoods and roadways. Lighting along the main roadways should be geared to pedestrians, to encourage main street activity into the evening hours.

### **Required Standards**

- Pole-mounted fixtures in vehicular use or pedestrian areas shall not exceed a mounting height of 12 feet, and such poles shall be located so as not to be a hazard in the path of travel for pedestrian or vehicular access.
- Wall-mounted lighting fixtures shall not exceed the height limits set for the pole-mounted fixtures in their respective use areas, and shall be provided in a manner that will minimize glare to vehicular traffic.
- Outdoor lighting may exceed 12 feet in height if it meets one or more of the following criteria:
  - Building mounted lighting directed back at a sign or building facade; or lighting on above-grade decks or balconies which shall be fully shielded.
  - Additional lighting needed for highway or intersection safety as required by State Highway Administration.

## 2. Illumination

***Intent-*** To maintain a safe, secure, and attractive environment using adequate and attractive, and functional lighting.

### **Required Standards**

- All outdoor lighting shall provide illumination at ground level not to exceed the range set below:
  - *Commercial areas:*

average illumination:	1.5 foot candles
maximum illumination:	5.0 foot candles
  - *Residential areas:*

average illumination:	1.0 foot candles
maximum illumination:	2.5 foot candles

- In addition, outdoor lighting shall be designed so that any overspill be minimized, but if necessary and approved by the Planning Commission, lighting onto adjacent properties shall not exceed one-half foot candle vertical and one-half foot candle horizontal illumination to the adjacent properties or structures.
- All lighting shall be glare-free and shielded from the sky and adjacent residential properties and structures, either through exterior shields or through optics within the fixture.
- Lighting shall not be used to attract attention to a business, but to provide reasonable levels of lighting for safety and identification.
- Lighting levels shall comply with Illuminating Engineering Society of North America's Recommended Practices and Design Guidelines latest edition.
- Safety lighting shall be provided at building entrance and doors sufficient to illuminate the doorway.

### **3. Design and Compatibility**

***Intent-*** The design of exterior lighting fixtures shall enhance and complement the character of a specific building or space, and must reflect the traditional elements of Cecilton.

#### **Required Standards**

- Lighting styles of both poles and fixtures must be of a style compatible with the design and architectural style of the buildings and facilities illuminated. Lighting fixtures must be appropriate for the type of development proposed.
- Pedestrian scale lighting may also be accomplished with fixtures that are mounted on buildings or located to accent architectural or landscape features. Such fixtures should be designed to enhance the overall architecture of the building, provide lighting for pedestrians and not damage historic materials.

### **4. Discouraged Lighting**

- The use of up-lighting should be avoided to minimize light pollution of the night sky and to prevent light trespassing onto adjacent properties.

### **5. Prohibited Lighting**

- Flashing lights – Any lights that flash, move, revolve, rotate, scintillate, blink, vary in intensity or color, or use intermittent electrical pulsation.
- Outdoor string of lights, including but not limited to those outlining lot lines, or outdoor display or sales lots.
- Luminous colored tube lighting.

- The following lighting fixtures are prohibited in all new or re-development projects:
  - Cobra style fixtures
  - Open bottom fixtures
  - Mongoose fixtures
  - Other non-fully shielded fixtures.
- Colored lighting unless specifically approved by the Planning Commission.

## 6. Exempt Lighting

- The following lighting is exempt from lighting standards:
  - Holiday decorations
  - Construction or emergency lighting
  - Additional lighting needed for highway safety, and state approved traffic control devices

## E. SERVICES AREAS

### 1. Screening of Trash and Service Areas

**Intent-**To provide a safe and clearly marked area for deliveries as well as trash service pick-up. This area should be clear of vehicular traffic and high pedestrian volume to enable delivery vehicles an area without any obstructions to perform such services. Reduce the impact of service, loading and trash storage areas.

#### Required Standards

- All service, loading and trash dumpsters areas shall be screened by a combination of masonry, wood, or vinyl walls and planting areas.
- Dumpsters shall be screened by walls, fences, gates and plantings and placed on concrete pad.



- Loading and service areas shall not face any residential district, unless no other location is possible as deemed by the Planning Commission.



- Loading areas shall be connected to the building or immediately adjacent to the building which the loading area services.
- Shoulders or right of way areas shall not be used or designated as loading areas.

## 5. SIGNAGE

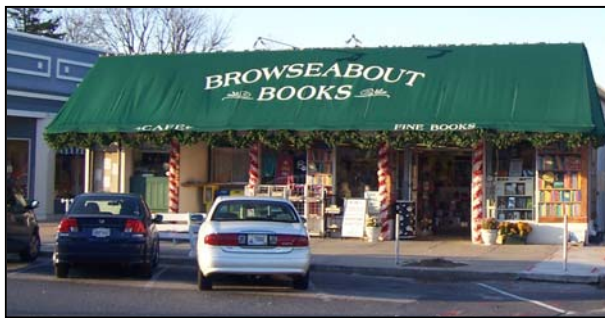


### A. SIGNAGE

**Intent**-The purpose and intent of this Section is to assure that signage is aesthetically pleasing while allowing the property owner to display the business as well as the preserving the small Town character of Cecilton. Section 10 of the Town Zoning Code will state the requirements regarding permitted uses, off-premise signage and allowable dimensions.

#### 1. Definitions

**Awning Sign** - A sign that is part of or attached to an awning, canopy, or other protective cover over a door, window or entrance.



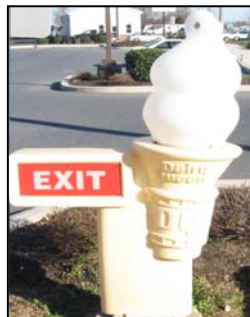
**Banner** - A sign intended to be hung with or without frames, possessing characters, letters, illustrations or ornamentations applied to paper, plastic, or fabric of any kind. National flags, flags of political subdivision, and other such flags shall not be considered banners.



**Bulletin Board-** A changeable copy sign, which identifies and announces schedules for churches, schools, or other noncommercial uses or activities.



**Directional Sign** - A sign, located on premise, directing traffic movement onto or within the premise, including signs marking entrances and exits, parking areas, loading zones, or circulation direction.



**Free-Standing Sign**- A self-supporting sign resting on or supported by means of poles, standards or any other type of base on the ground (ground, monument, pole).





**Ground Sign** - A sign suspended or supported by one or more uprights or braces anchored in the ground with no more than 30 inches clearance from the bottom of the sign to the ground below.



**Hanging Sign**- A sign which hangs from the underside of the roof of a porch or covered walkway.



**Incidental Sign**- A sign whose main purpose is to direct or inform the reader, but not to identify or advertise the primary business, organization, institution, product or service located on the premise. Examples include signs indicating hours of business, entrance, exit, vacancy, office, menus, carry-out window, open house, no trespassing, no dumping, garage sale, yard sale.



**Monument Sign** - A free-standing sign which rests directly on the ground and not on a pole.



**Projection Sign** - A sign, other than a wall sign, which projects from a structure or building face. An example includes an awning sign.



**Roof Sign** - A sign located or erected on or attached to a roof and which extends above the ridge or peak of the roof. Also included is any sign which receives partial or total support from a roof by means of girders, wires, etc., attached to, located or erected on a roof.



**Wall Sign** - A sign painted on or affixed to and mounted parallel to a building facade or wall in such a manner that the facade or wall becomes the supporting structure for the sign.





**Window Sign** - A sign installed on the inside or outside of a window, which is visible from the sidewalk or street.



## 2. General Provisions

**Intent**-To assure that signage is consistent with the architectural features of the buildings on which it is placed allowing the merchant and property owners with a way to effectively communicate without creating sign clutter.

### Required Standards

- Only signs specifically permitted in these standards are allowed, and all signs must comply with these provisions.
- All permitted signs shall be subject to the following regulations:
  - Signs shall not cover significant architectural detail.
  - Signs shall be treated as an architectural element of a building or project and shall be designed to be compatible and complimentary.



- Signs shall not project above the roof, parapet, or exterior wall.
- Elements of the sign should create an overall cohesive design, reflect simplicity, avoid visual clutter and ensure legibility. Each sign should:
  - Be consolidated into a minimum number of elements, whether words, symbols, or graphics,
  - Have appropriate contrast,
  - Be designed with a limited number of, and harmonious use of, colors,
  - Be constructed with a minimum number of materials.
- The message should be easy to read from the intended vantage point - public street, public sidewalk, or public parking lot - but not be out of scale with the building, site or streetscape.



### **Encouraged Guidelines**

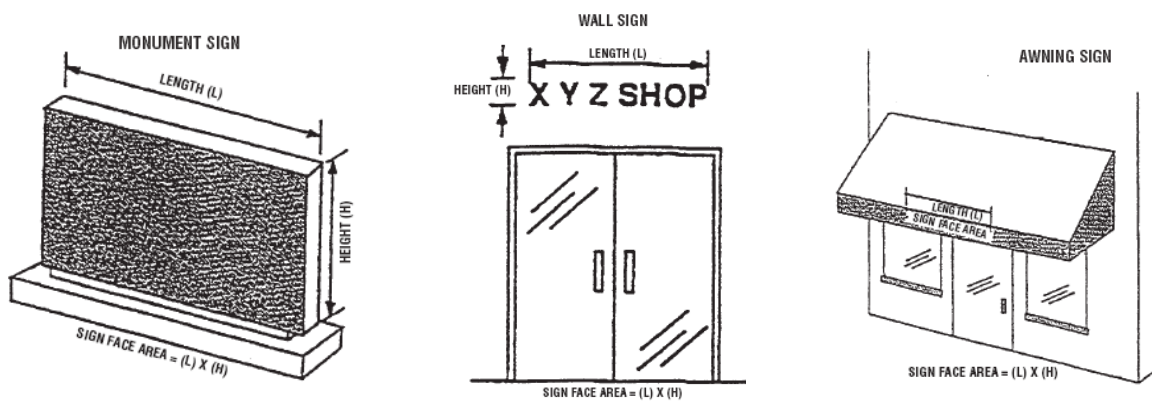
- Signs shall be of a coordinated color scheme and materials which reflect the architectural style of the buildings, commercial complex or product service.
- Signage should be on a pedestrian scale and visible by pedestrian at grade/sidewalk level.
- Projecting signs, supported by ornamental brackets and oriented to pedestrians and passing vehicles are strongly encouraged.



## **3. Calculating Sign Area**

***Intent-*** To assure that the individual signs placed directly on buildings be designed to be compatible with and complement the appearance of the building and that the size and shape of the sign shall be in proportion to the space the sign is to occupy.

Unless stated otherwise in the provisions herein, the calculation of sign area shall conform with the Town of Cecilton Zoning Code.



#### 4. General Sign Construction and Materials

**Intent-**To ensure the signs are of quality construction and material as well as incorporate good overall design.

- All signs shall be framed, constructed, and erected so as to compliment the overall appearance of the building and site as well as the overall appearance of the sign.
- Sign Graphics. A sign's graphic elements shall be executed in a professional manner.
- General Sign Construction
  - All signs shall be constructed, and erected in a professional and workmanlike manner.
  - Signs shall be structurally sound, maintained and located to pose no threat to pedestrian or vehicular traffic.
- Materials
  - Signs should be fabricated on and of materials that are of permanent quality, good durability and are complimentary to the building to which they relate.
  - Materials used should be those that weather well and reduce maintenance.
- Signs should have a matte finish, not have a glossy or reflective finish.
- Framing and Supports.
  - Visible frames or supports for freestanding or projecting signs should be:
    - In scale with the size and character of the building;
    - Designed either as a key element of the sign or minimized so as not to detract from the sign.

- All signs attached to buildings shall be attached in a manner that preserves the historic integrity of the building.

## 5. Integration with Site/Building Design

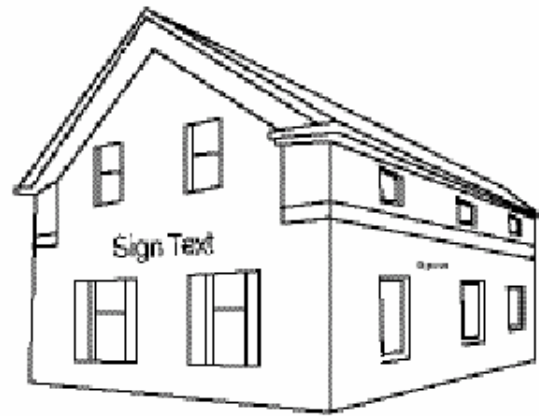
**Intent-**To ensure that exterior signage is part of the overall design approach to a project.

- Signs shall be treated as an architectural element of a building or project and shall be designed to be compatible and complimentary.
- The design of buildings and sites shall identify locations and maximum sizes for future signs. Multi-tenant buildings and those which could be multi-tenant buildings must submit a sign plan depicting the method of signage and area allowances. Revisions in the sign plan may be submitted for Planning Commission approval by the management/owner of a building. A part of each sign permit request shall be an explanation of how the sign complies with the sign plan which shall include the building management approval of the proposed sign. As tenants install signs, it is expected that such signs shall be in conformance with an overall sign plan that allows for advertising which fits with the architectural character, proportions, and details of the development.
- All signs shall be reviewed for their impact on the overall building facade.
- The sign and associated lighting fixtures must complement the architecture of the building on or near which it is placed and should be placed in an appropriate location on the building facade.
- If the building design or architecture does not clearly identify the appropriate placement for a sign panel then individual letters are encouraged unless there is a clear location for adding sign panels, such as establishing one or more repetitive, common architectural features in order to create a repetitive sequence





*Awkward placement of sign panels.*



*Building is better suited to sign comprised of individual letters*

- Whenever a new or renovated sign is proposed for an existing building:
  - It may be determined that building alterations are needed in order for the proposed sign to be properly placed on the building facade.
  - Any inappropriate and extraneous elements from past remodeling project(s) should be removed prior to the installation of the proposed sign to improve the clarity and design of the proposed sign and restore the intended character of the building.



## 6. Prohibited

- Portable signs, inflatable signs, tethered balloons, kites or other unattended flying device which are meant to advertise or identify a specific business, product, or event.
- Temporary or portable internally illuminated signs with changeable letters and numbers and portable trailer signs with changeable text panels.

- Digital electronic signs of any kind, except for time and temperature signs.
- Revolving signs
- Steel pole mounted signs
- Roof signs

## 7. Design Standards for Permitted Signs

***Intent-***To ensure that exterior signage is part of the overall design approach to a project.

### **Awning Signs**

- Any portion of an awning containing advertising copy shall be treated as a wall or building sign and shall be included in the overall area calculations for such signs. Squared off, text only, symbols or graphics.
- Signs may be attached flat against awnings made of rigid materials, and shall not project above the awning. Awnings of non-rigid materials (e.g. canvas) shall have signs only appliquéd or painted on them.
- There shall be a minimum clearance of at least eight (8) feet between the bottom of the awning and the ground at grade.
- One awning sign, the size of which shall not exceed twenty-five (25) percent of the area of the awning. The location of the sign shall not exceed the limits of the awning.

### **Directional Signs (Instructional)**

Directory signs may be provided to identify individual businesses or occupants of the same building or building complex, in accordance with the following:

- The display board shall be of an integrated and uniform design.
- No more than one sign panel not to exceed two (2) square feet in area is permitted per directory for each tenant business.
- Directory signs shall be placed in one or more groups nearest the pedestrian entrances adjacent to the building complex only, and may be wall-mounted or freestanding signs. Such signs shall not exceed three (3) feet in height.
- The total area of any directory sign shall not exceed twenty-four (24) square feet.





- Property management companies are allowed one (1) identification sign per building managed not to exceed two (2) square feet. Such signs shall not count against total allowable directory signage.
- Directory signs shall not contain advertising copy.
- The directional sign must not be placed in areas that would obstruct motorists' vision of traffic.

### **Freestanding Signs**

- All new or replacement freestanding signs shall be monument signs, ground signs and pole mounted as defined herein. Such signs shall be consistent with the architectural character of the site and building, incorporating at least one of the primary materials, colors, or design elements of the associated structure(s).
- The top of the free standing sign shall not be more than ten (10) feet in height above ground level and shall not exceed the height of the first floor.
- Berming shall not be used to exceed the maximum allowable height of signs.
- The base or support elements of freestanding signs should be integrated with the surrounding environment. Landscaping may be required to buffer such signs.
- Freestanding signs should be sited so that they integrate with the location of street trees and other site landscaping,
- Freestanding signs shall not be placed where they obscure adjacent freestanding signs and important architectural features such as entrances, display windows, or decorative elements when viewed from the public right-of-way.
- Freestanding signs must be designed to relate to and share common design elements with the building and the sign(s) attached to the building, including multi-occupant buildings.
- Freestanding signs must be spaced or combined along the street frontage in a manner that ensures that one ground sign does not obscure the view of another ground sign.
- A freestanding sign that provides a directory of occupants for a multi-occupant building should have simplicity of design to compensate for the additional amount of information provided





## **Monument Signs**

- Monument signs should be designed with consistent design elements, such as a base material, height, and lettering style, to create a visual continuity and quality to development. Monument sign bases and/or signs shall utilize one of the following complementary materials or elements as a primary feature to create visual continuity throughout the Town:



- Sandstone or similar type of stone;
- River cobblestone;
- Brick;
- Color tinted and textured concrete masonry;
- Metal or iron detailing;
- Other materials of similar high-quality as utilized on the primary structures.

Monument-type signs shall be attached to the ground with a base whose width and length are at least as large as the bottom edge of the sign face.

## **Ground Signs**

- The design and placement of ground signs and associated lighting fixtures must complement the overall visual appearance of the site.
- Approved year-round landscaping shall be used around the base of the freestanding sign to screen lighting fixtures and utility sources in compliance with the Landscaping and Parking lot design sections of this document.

## **Projection Signs**

- Projecting and suspended signs shall be treated as building signs and shall be included in the overall area calculations for building signs.
- The two sides of a projecting or suspended sign must be parallel back to back, and shall not exceed six (6) inches in thickness, and ten (10) square feet in area.



- A projecting sign shall be hung at right angles to the building and shall not extend more than three (3) feet from a building wall.
- Projecting or suspended signs shall have a minimum clearance of eight (8) feet above grade and shall not project into a vehicular public way.
- The top of the sign, if suspended, should be in line with whichever is the most successful application of scale, linear continuity or visibility as determined by the Planning Commission.
- The maximum height of any projecting sign may not exceed the height of the building to which it is attached or fifteen (15) feet above grade, whichever is lower.
- Buildings on corner lots may have one projecting sign facing each street.
- The size of the lettering and graphics on a projecting sign must be appropriate for viewing by pedestrians.

### **Wall Mounted Signs**

- For each business on a separate property, wall-mounted signage for each street frontage is permitted with a maximum area of one (1) square foot of signage per one lineal foot of street frontage, but in no case measuring an aggregate of more than fifty (50) square feet.
- Buildings which have multiple businesses accessed by separate entrances shall be permitted one building sign of a maximum of ten (10) square feet per business.
- When two (2) or more businesses occupy one (1) building with common entrances (i.e. without separate entrances) they shall be considered one (1) business for sign computation purposes. This means that for wall or building signs, buildings of this nature are limited to one building sign per street frontage plus one directory sign per common entrance.
- Structures abutting more than one street may have wall signs, with an aggregate size as described above, for each wall facing a street.
- Hanging signs shall be considered to be wall signs for the purposes of this section and are permitted as part of the aggregate size for wall signs.
- The depth of wall signs on multi-tenant buildings should be consistent.



- The size and location of wall signs shall be reviewed in terms of their relationship to the building entry, height of sign fascia, or size of wall where the sign is to be installed and the relationship to other signs on a building, as well as visibility from the street, sidewalk or parking lot.
- On multi-tenant buildings wall signs should be evaluated for compatibility as part of a sign program with the building fascia and neighboring signs in terms of size, color, lighting materials, sign style, and quality.

### **Window Signs**

- Shall not cumulatively exceed twenty-five (25) percent of the area of the window on which they are placed on the first floor and ten (10) percent on all floors above the first floor.
- Permanent window signs must be comprised of individual letters, logos, or design elements that are not encompassed by a solid opaque background so as not to obscure the view through the window.



## 6. UTILITIES/STORM WATER



### A. LOCATION AND APPEARANCE

**Intent-** To ensure storm water and utility locations do not detract from the character of the neighborhood, yet would provide access for maintenance. Landscaping and fencing are methods most commonly used to camouflage the appearance of any utilities, to include services such as phone, electric, cable, etc.



The regulating agency for each utility will determine the most appropriate location area as well as the requirements that must be made for construction and approval. It is recommended, when possible to ensure deep, wet storm water ponds not be placed in the front yard of any lot. If a pond is placed in the front yard area, it is recommended the storm water pond be wet, aerated and fountained for aesthetics to include any allowable landscaping.



### B. MAINTENANCE/OWNERSHIP

**Intent-** To ensure the utilities are properly maintained and operational as designed, by the owner of the property. This can be done through separate parcel identification in a major subdivision or one parcel for complete ownership depending on the type of plan. The Town will not be responsible for any utilities that they do not provide through municipal services.